

An aerial photograph of a residential neighborhood. A specific property is outlined in red. The property is located between Wellington Street and Ocean Street. The area is densely packed with houses, many of which have red-tiled roofs. There are some trees and green spaces interspersed among the buildings. The red outline highlights a cluster of buildings and a larger lot to the north.

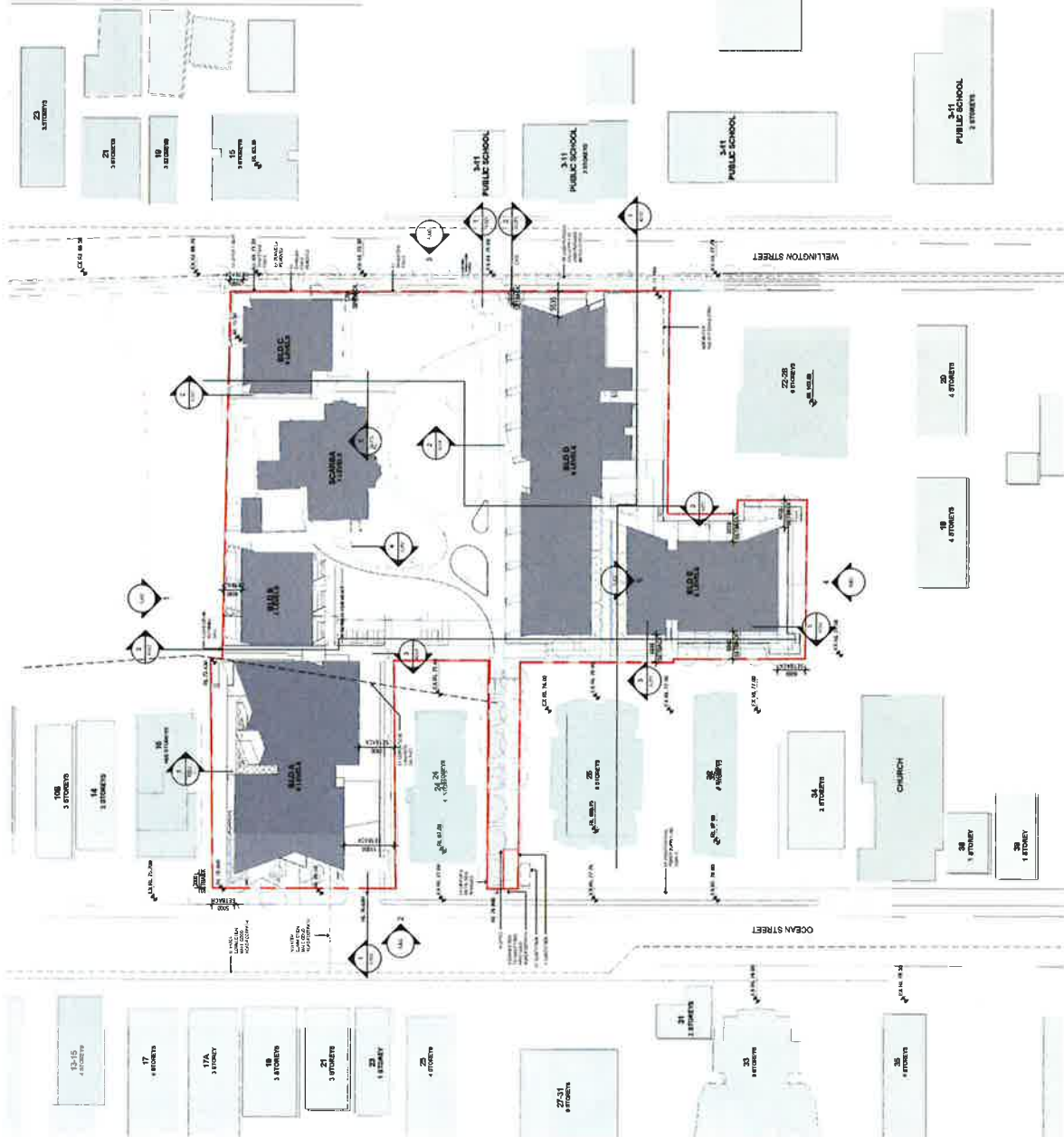
1 : 1500

[illegible][illegible]

BASIC GENERAL CONSTRUCTION	
Cladding Door/Window: Single glazed door, aluminum framed Window: Double glazed, aluminum framed Lower wall: Glazed to aluminum frame, tiled Thermal Curtain usually 5/16" (16" high) in lower part, 4/7 5/16" (19") 3/20 Upper wall: Glazed to aluminum frame, tiled Thermal Curtain usually 5/16" (16" high) in lower part, 4/7 5/16" (19") 3/20 Fixed window: double glazing to building up as per plan and elevations Aluminum curtain wall system to building up as per plan and elevations	Door: Glazed door with 1/2" x 12" x 16" vision pane Increased cooling load due to aluminum frame, tiled Thermal Curtain usually Red color finish Heat transfer coefficient Heat transfer coefficient to be reduced
Roof Cooling load due to solar radiation Cooling load due to solar radiation	Roof: Glazed door with 1/2" x 12" x 16" vision pane Increased cooling load due to aluminum frame, tiled Thermal Curtain usually Red color finish Heat transfer coefficient Heat transfer coefficient to be reduced
Wall Cooling load due to solar radiation Cooling load due to solar radiation	Roof: Glazed door with 1/2" x 12" x 16" vision pane Increased cooling load due to aluminum frame, tiled Thermal Curtain usually Red color finish Heat transfer coefficient Heat transfer coefficient to be reduced
Floor Cooling load due to solar radiation Cooling load due to solar radiation	Roof: Glazed door with 1/2" x 12" x 16" vision pane Increased cooling load due to aluminum frame, tiled Thermal Curtain usually Red color finish Heat transfer coefficient Heat transfer coefficient to be reduced

WV	Sheet Name	Rev
A000	Cover Sheet	B
A001	Site Plan	B
A002	Site Demolition Plan	B
A003	Site Elevation Plan	B
A004	EW - Basement Plan	B
A005	B1 - Basement Plan	B
A006	B1 - Basement Plan	B
A100	Ground Floor Plan	B
A101	Level 01 Plan	B
A102	Level 02 Plan	B
A103	Level 03 Plan	B
A104	Level 04 Plan	B
A105	Level 05 Plan	B
A106	Level 06 Plan	B
A107	Level 07 Plan	B
A110	Roof Plan	B
A300	Elevations & Sections - 1 of 5	B
A301	Elevations & Sections - 2 of 5	B
A302	Elevations & Sections - 3 of 5	B
A303	Elevations & Sections - 4 of 5	B
A304	Elevations & Sections - 5 of 5	B
A350	Section - Level 02	B
A360	GFA Plans - Level 03 to Level 07	B
A700	Sheddy Diagrams	B
A800	Area Schedule	B
A900	Software Analysis Plan	B

2020/07/14	B				Development Software Development Application
14052914	A				
Date	Type				Amount
DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION					
Design Architect:					
smart design studio					
Project: BONDI 18-52 Ocean Street & 20 Wellington Street Bondi Beach NSW 1530 Australia Tel: +61 (0)2 9550 1234 Fax: +61 (0)2 9550 1235 Email: info@smartsd.com.au Website: www.smartsd.com.au					
The _____					
Cover Sheet					
Drawing No: A000 Rev B Scale: 1:100 Date: 20/07/14 Drawing by: J.A.S. Checked by: M.H.					



1 DA - Proposed Site Plan
1:500

Notes

1. CONSULT WITH THE LOCAL COUNCIL AND THE STATE GOVERNMENT FOR APPROVAL OF THE DEVELOPMENT APPLICATION.
2. THE DEVELOPMENT APPLICATION MUST BE SUBMITTED TO THE LOCAL COUNCIL AND THE STATE GOVERNMENT FOR APPROVAL.
3. THE DEVELOPMENT APPLICATION MUST BE SUBMITTED TO THE LOCAL COUNCIL AND THE STATE GOVERNMENT FOR APPROVAL.
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20. THE DEVELOPMENT APPLICATION MUST BE SUBMITTED TO THE LOCAL COUNCIL AND THE STATE GOVERNMENT FOR APPROVAL.

Prepared by: [Name]
Date: [Date]

Reference	20120014 14020014	Development Application Development Application
State	State	Development
City	City	Development
Area	Area	Development
Project	BONDI 15-22 Ocean Street & 30 Wellington Street smart design studio	

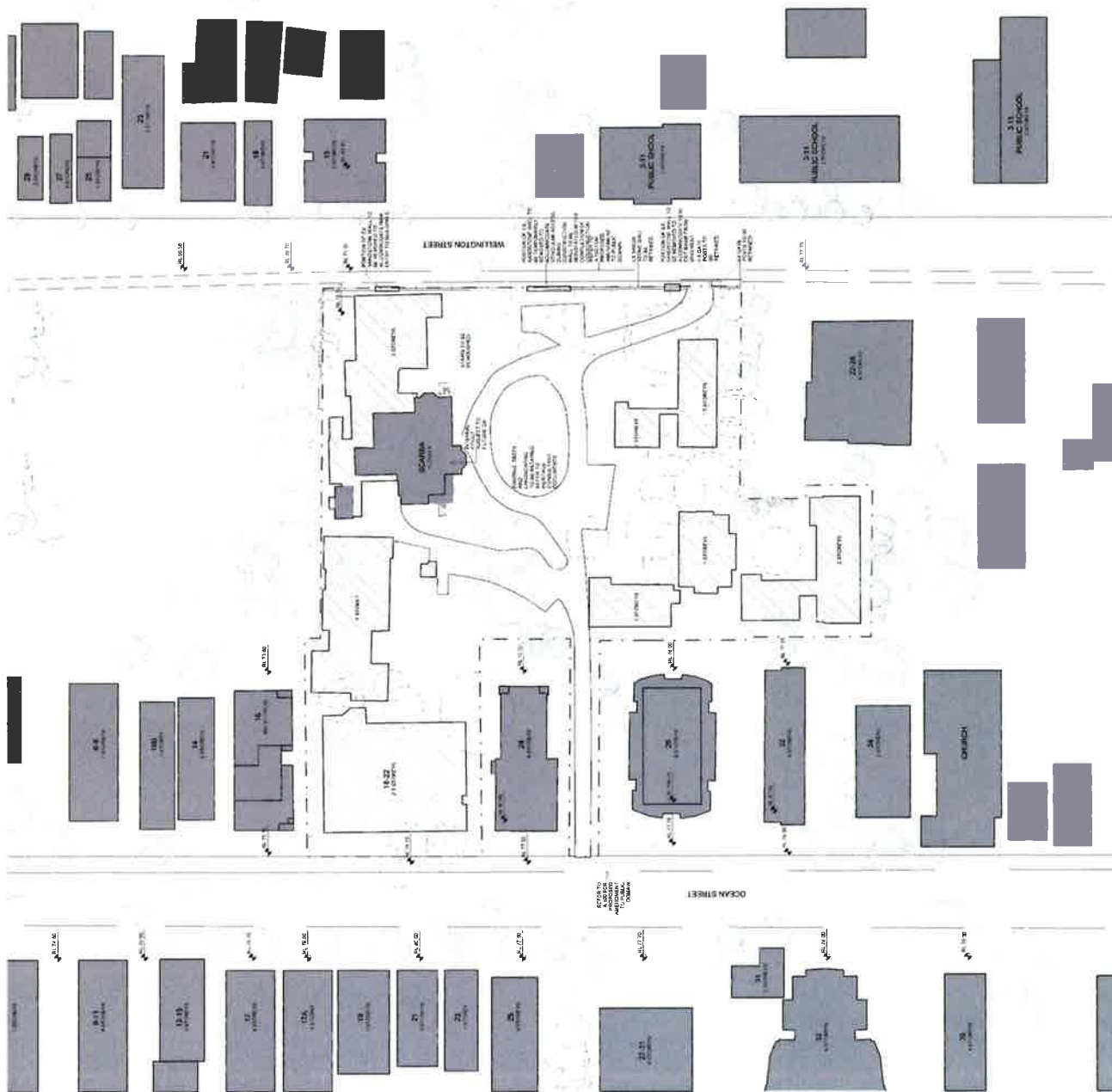
Site Plan

Notes

CONCLUSIONS The results of this study suggest that the use of a single, standardized, and validated questionnaire is a feasible and reliable method for assessing the prevalence of occupational asthma in a large, multi-center study. The use of a single questionnaire also allows for the collection of standardized data on a wide range of occupational factors, which can be used to identify risk factors for occupational asthma. The use of a single questionnaire also allows for the collection of standardized data on a wide range of occupational factors, which can be used to identify risk factors for occupational asthma.

1. **CHANGING PREFERENCES** The authors note that the tastes and preferences of the average American have changed since 1980. Most notably, the share of the dining table not

Author's Note



1 SITE DEMOLITION PLAN

DA - Demolition Plan

1 : 500

Abstract

Date	Rate	Development Applications	
		Development Application	Amendment
26/03/2014	B		
14/05/2014	A		

3

Design Architect:

smart design studio

Project

BONDI
41-77 Ocean Street & 30 Wellington Street

The

Site Demolition Plan

Job No 1788 Date 20/10/14 Scale @ A1 1 500
Drawing No A002 Rev B



LINE OF BASEMENT DOTTED OVER

1. **Introduction**| [religion](#)

Relevant

STATUS
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Architect

smart design studio

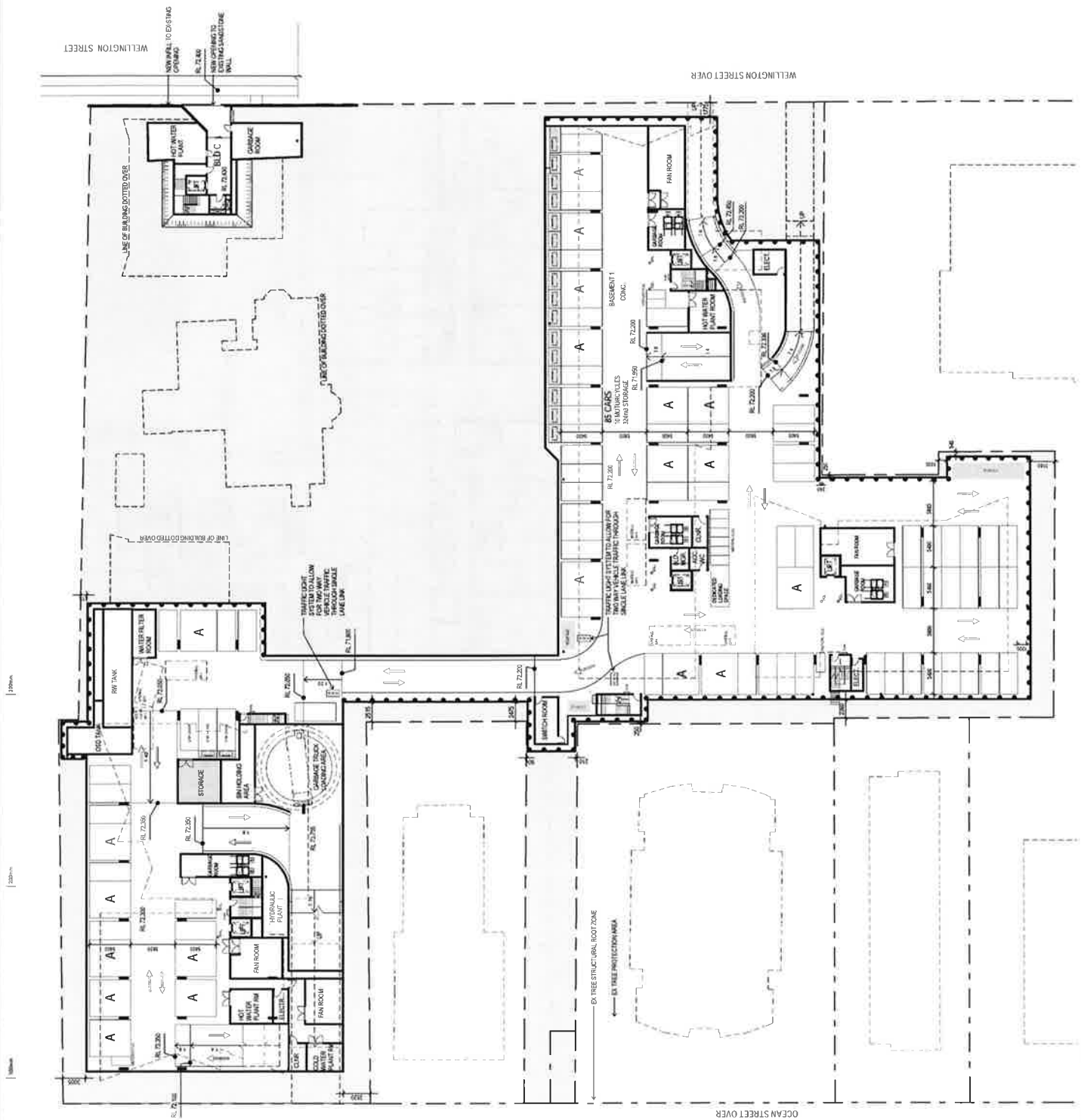
Aspect

18-22 Ocean Street & 30 Wellington Street

B2 - Placement Plan

Order No. 1788 Date 20/01/14 Scale @ A1 1:250
Drawing No. A003 Rev B

1. The applicant must provide a copy of the approved DA and all supporting documents to the Council for its records.
2. The applicant must provide a copy of the approved DA and all supporting documents to the Council for its records.
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9. The applicant must provide a copy of the approved DA and all supporting documents to the Council for its records.
10. The applicant must provide a copy of the approved DA and all supporting documents to the Council for its records.



20/02/2014 14/02/2014		Development Application Development Application	
Date	Rev	Project	Project
State DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION			
Design: AECOM smart design studio			
Project: BONDI 15-22 Ocean Street & 30 Wallingford Street			
B1 - Basement Plan			
Job No: 1786	Date: 20/01/14	Scale: @A1: 1:250	Drawn By: A004 Rev: B

the authors of the *Journal of Management Studies* (1996) and the *Journal of Management Inquiry* (1996) have been particularly influential in this regard. The *Journal of Management Studies* has been particularly influential in the area of international management, while the *Journal of Management Inquiry* has been particularly influential in the area of organizational research. Both journals have been instrumental in the development of the field of management studies, and their continued publication is a testament to their enduring relevance and impact on the field.

D. GAGNÉ, P. GAGNÉ, A. TROPEA

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10. *Journal of the American Statistical Association*, 93(443), 1089-1092.

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2013/2014	Development Application
14/05/2014	Development Application

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Over the last 10 years, the number of people in the United States who have been diagnosed with HIV has increased by more than 100 percent. The number of people who have died from AIDS-related complications has also increased significantly. The Centers for Disease Control and Prevention (CDC) estimates that more than 1 million people in the United States are living with HIV, and that more than 300,000 people have died from AIDS-related complications since 1981.

smart design studio

Project _____

16 25 Avenue Street 6 70 141 New York Street

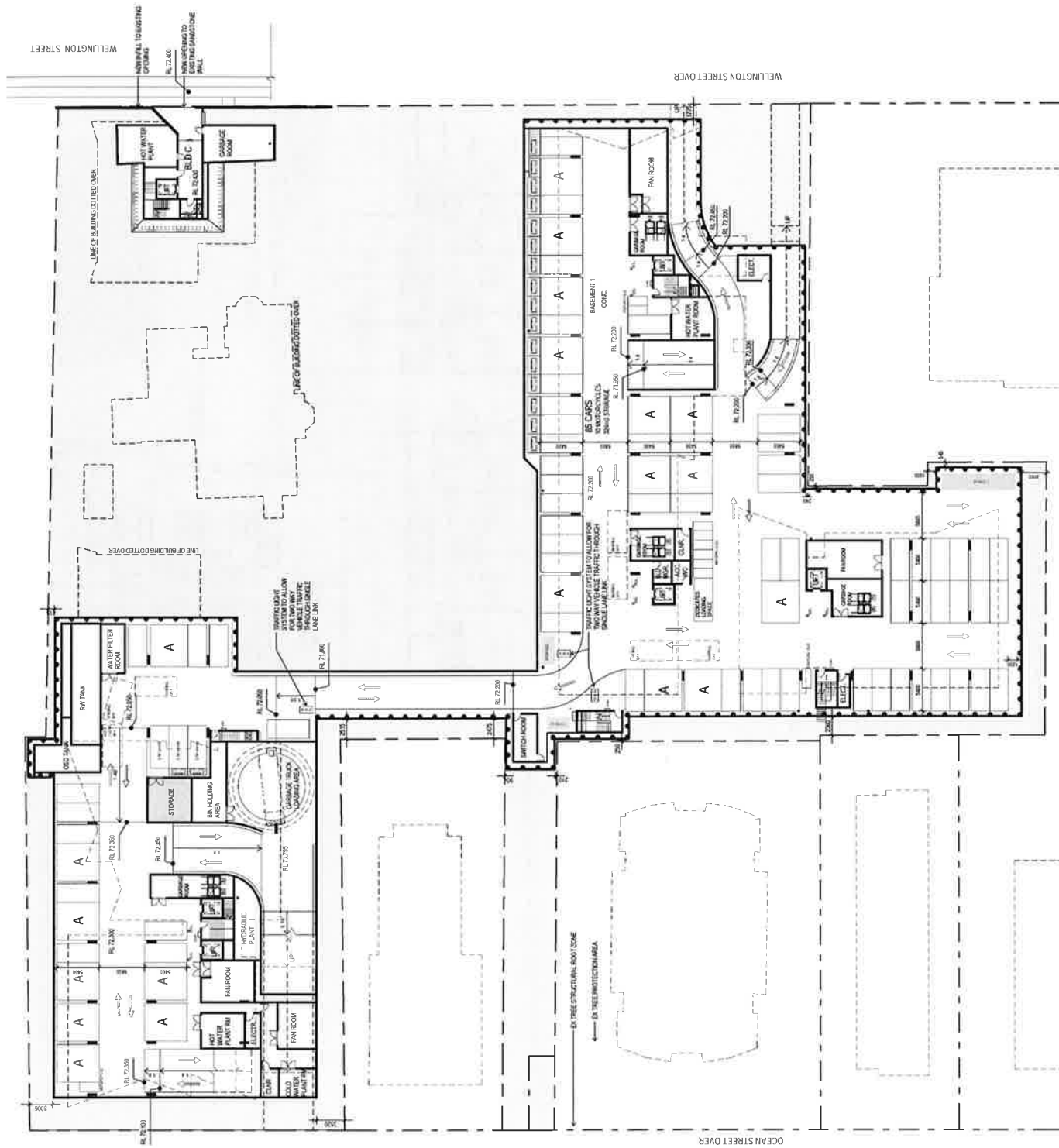
RESIDENT ADULT APPLICATION

Job no	1782	Date	20/11/14	Scale 45A 1' 250
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Drawing No A100 Rev B

1 DA - Ground Floor Plan
1 : 250



[illegible]

2. **GRAPHIC PRESENTATION**
a. Color illustrations on heavy, acid-free paper, with a minimum of 10 copies of each illustration. Some color illustrations may also require printing on black and white.
3. **FORMATTING, CITATIONS, AND REFERENCES**
a. Follow the format of the *Journal of Interpersonal Violence* in all writing. b. Do not include a cover letter with the manuscript. c. Do not include a title page. d. Do not include a table of contents.

2. *Explain* how the author uses the text to develop his or her central idea or theme.
3. *Explain* how the author uses the text to develop his or her central idea or theme.
4. **CONCRETE EVIDENCE**
5. *Explain* how the author uses the text to develop his or her central idea or theme.
6. *Explain* how the author uses the text to develop his or her central idea or theme.
7. *Explain* how the author uses the text to develop his or her central idea or theme.
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Abschreibung = $\frac{\text{Wertminderung}}{\text{Nutzungsdauer}}$

Participants

	23-10-23-14	Development Application
	1-005-23-14	Development Application

Date	Rev	Amount
Subtotal		

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

[illegible]

Project

smart design studio

1000 Broadway, Suite 1100
New York, NY 10003
Tel: 212 279 0000
www.smartdesignstudio.com

BONDI
16-22 Ocean Street & 30 Wallington Street

B1 - Basement Plan

Job no. 1728 Date 22/10/14 Scale @ A1 1:250

Journal of the	Page
Journal of the	Page

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Received 12 November 2003; accepted 12 February 2004

Correspondence: Dr M. J. Griffin, Department of Medicine, University of Cambridge, Addenbrookes Hospital, 100 Brookings Drive, Cambridge CB2 2RQ, UK (fax: +44 1223 337620; e-mail: m.j.griffin@cam.ac.uk).

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NEW CODE

1000000

Source: *Author's calculations*.

Date	Rev	Amendment
26/02/2014	0	Developer's Application
14/02/2014	A	Developer's Application

STATUS
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Abstract

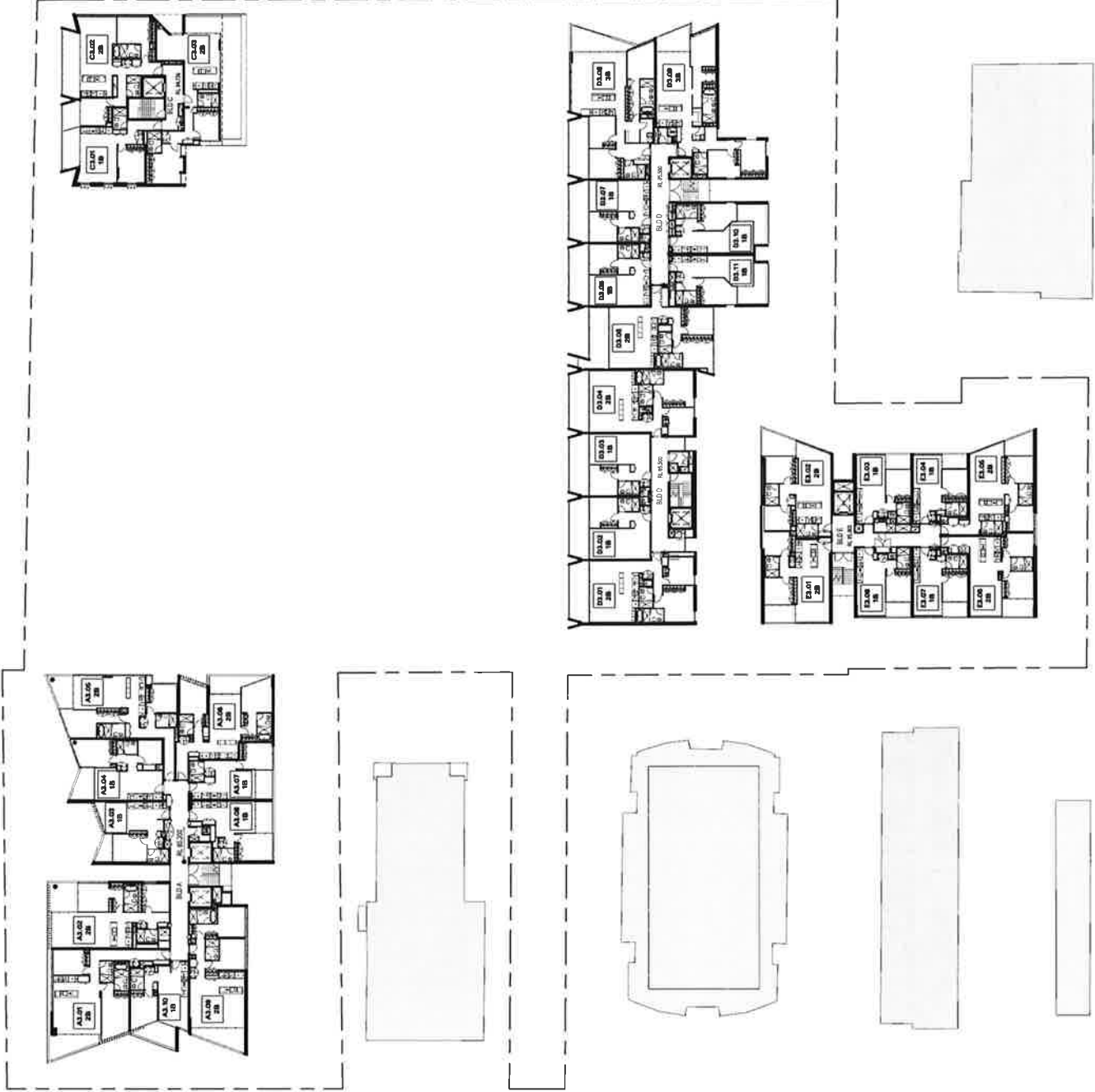
smart design studio

BONDI
Project: 15-22 Ocean Street & 30 Wellington Street

DEVELOPMENT APPLICATION
Level 01 Plan

Job no 1788 Date 20/10/14 Scale @ A1 1:250
Drawing No A101 Rev B

[illegible]



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Development Application

Development Application
Development Application

Scale
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Architect
smart design studio

Project
BONDI
16-22 Ocean Street & 30 Wallington Street

DEVELOPMENT APPLICATION
Level 03 Plan

Scale 1:250 Date 25/10/24 Drawing No. A103 Rev B



1. GENERAL NOTES: The design is based on the information provided in the brief and the site plan. The design is subject to change without notice.
2. SITE PLAN: The site plan shows the location of the building on the site. The building is located on the north-east corner of the site.
3. FLOOR PLAN: The floor plan shows the layout of the building. The building is a rectangular building with a central corridor.
4. SECTION: The section shows the vertical layout of the building. The building has a total height of 10.0m.
5. ELEVATION: The elevation shows the external appearance of the building. The building has a modern, minimalist design.
6. MATERIALS: The materials used in the design are as follows:
 - 6.1. External walls: Concrete
 - 6.2. Internal walls: Gypsum board
 - 6.3. Floor: Concrete
 - 6.4. Ceiling: Gypsum board
 - 6.5. Roof: Concrete
 - 6.6. Windows: Aluminium
 - 6.7. Doors: Timber
 - 6.8. Stairs: Concrete
 - 6.9. Lifts: Steel
 - 6.10. Services: PVC
7. FINISHES: The finishes used in the design are as follows:
 - 7.1. External walls: Render
 - 7.2. Internal walls: Paint
 - 7.3. Floor: Tiles
 - 7.4. Ceiling: Paint
 - 7.5. Roof: Tiles
 - 7.6. Windows: Glass
 - 7.7. Doors: Timber
 - 7.8. Stairs: Tiles
 - 7.9. Lifts: Steel
 - 7.10. Services: PVC
8. NOTES: The design is based on the information provided in the brief and the site plan. The design is subject to change without notice.

Revisions

Date	Rev	Amended
20/10/14	1	Developed Application
14/03/14	2	Developed Application

Salus
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

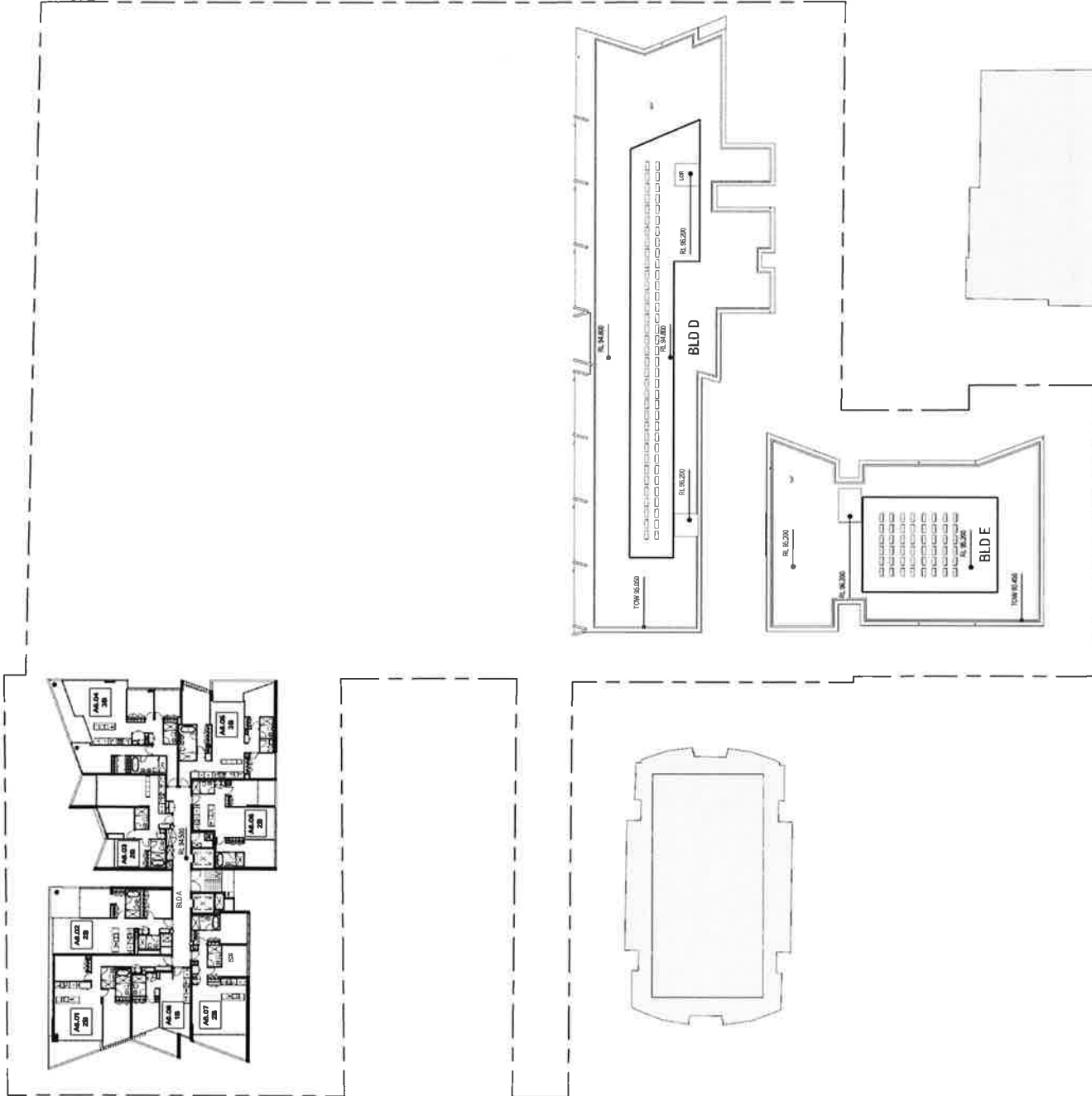
Design Architect
smart design studio
19-22 Ocean Street & 30 Wallington Street
BONDI
15-22 Ocean Street & 30 Wallington Street

BONDI
15-22 Ocean Street & 30 Wallington Street

DEVELOPMENT APPLICATION
Level 04 Plan

Job no: 1788 Date: 20/10/14 Scale: A1: 1:250
Drawing No: A104 Rev: B

Ashley Mitchell Ledgerford
Charlotte Technical Community College
Charlotte, North Carolina 28209-6700
ashleymitchell@charlottecc.edu



	Date	Row	Amendment
Development Application	20/02/14	8	
Development Application	18/05/2014	1	

STATUS	DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION
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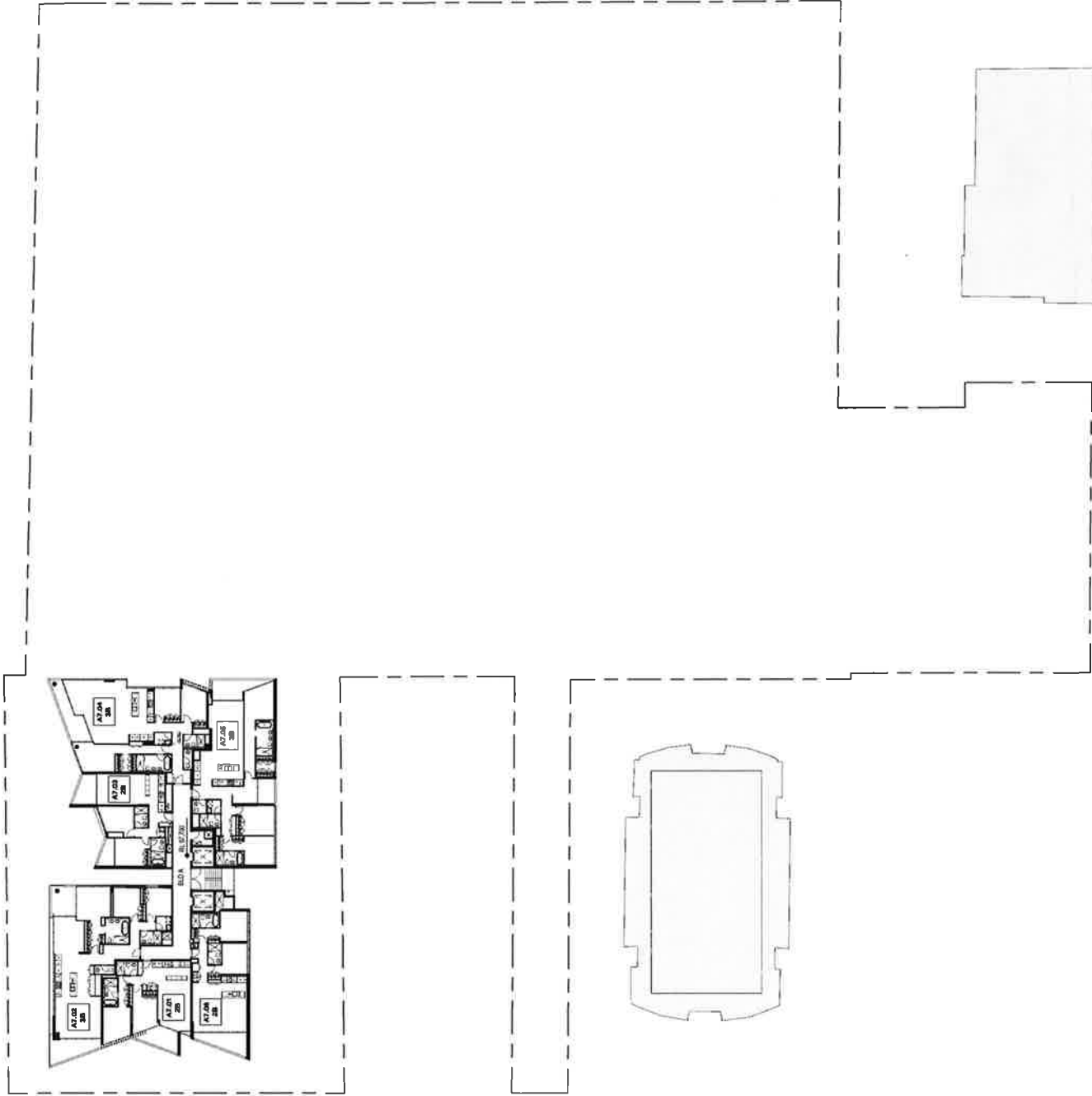
Design Architect

ALICIA ARNET
KAREN MULLIGAN
JIMMY L. SMITH
JAMES L. SMITH

smart design studio

Project
BONDI
18-22 Ocean Street & 30 Wellington Street

DEVELOPMENT APPLICATION
Level 06 Plan



Notes

1. GENERAL INFORMATION
a. The development is located at the intersection of the proposed road and the existing road.
b. The development is a multi-story building with a total floor area of approximately 10,000 sqm.
c. The development is a multi-story building with a total floor area of approximately 10,000 sqm.
d. The development is a multi-story building with a total floor area of approximately 10,000 sqm.
e. The development is a multi-story building with a total floor area of approximately 10,000 sqm.
2. SITE INFORMATION
a. The site is located at the intersection of the proposed road and the existing road.
b. The site is a multi-story building with a total floor area of approximately 10,000 sqm.
c. The site is a multi-story building with a total floor area of approximately 10,000 sqm.
d. The site is a multi-story building with a total floor area of approximately 10,000 sqm.
e. The site is a multi-story building with a total floor area of approximately 10,000 sqm.
3. DESIGN INFORMATION
a. The design is a multi-story building with a total floor area of approximately 10,000 sqm.
b. The design is a multi-story building with a total floor area of approximately 10,000 sqm.
c. The design is a multi-story building with a total floor area of approximately 10,000 sqm.
d. The design is a multi-story building with a total floor area of approximately 10,000 sqm.
e. The design is a multi-story building with a total floor area of approximately 10,000 sqm.
4. MATERIALS INFORMATION
a. The materials are a multi-story building with a total floor area of approximately 10,000 sqm.
b. The materials are a multi-story building with a total floor area of approximately 10,000 sqm.
c. The materials are a multi-story building with a total floor area of approximately 10,000 sqm.
d. The materials are a multi-story building with a total floor area of approximately 10,000 sqm.
e. The materials are a multi-story building with a total floor area of approximately 10,000 sqm.
5. CONSTRUCTION INFORMATION
a. The construction is a multi-story building with a total floor area of approximately 10,000 sqm.
b. The construction is a multi-story building with a total floor area of approximately 10,000 sqm.
c. The construction is a multi-story building with a total floor area of approximately 10,000 sqm.
d. The construction is a multi-story building with a total floor area of approximately 10,000 sqm.
e. The construction is a multi-story building with a total floor area of approximately 10,000 sqm.

Remarks

20/02/14
14/05/14

Development Application
Development Application

Date
Date

Prepared
Prepared

Scale
Scale

DEVELOPMENT APPLICATION
DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION
NOT FOR CONSTRUCTION

Design/Architect
Design/Architect

smart design studio
smart design studio

Project
Project

BONDI
BONDI

15-22 Ocean Street & 30 Wellington Street
15-22 Ocean Street & 30 Wellington Street

Title
Title

DEVELOPMENT APPLICATION
DEVELOPMENT APPLICATION

Level 07 Plan
Level 07 Plan

Job no. 1786
Job no. 1786

Date 20/01/14
Date 20/01/14

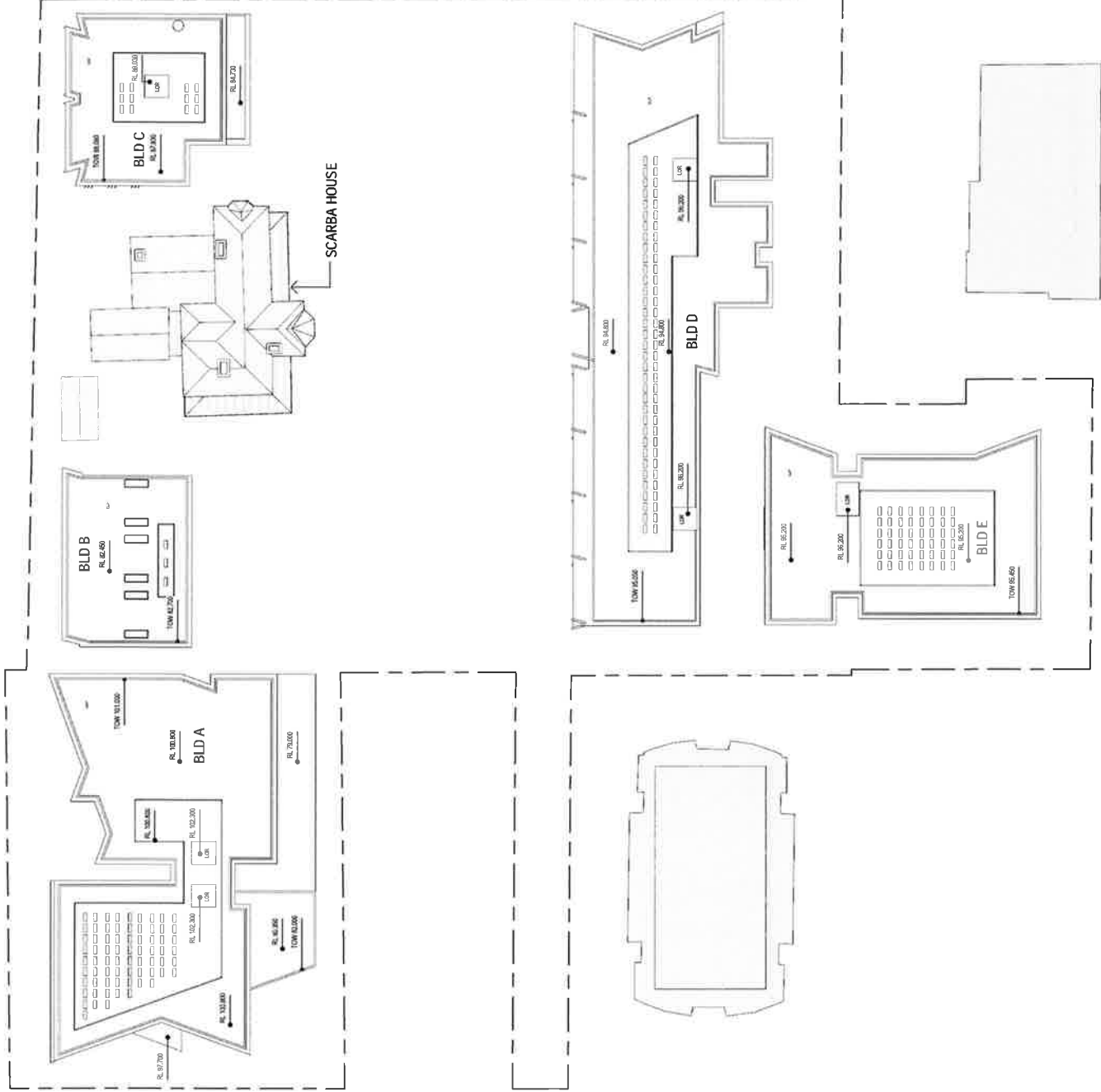
Scale @ A1 1:250
Scale @ A1 1:250

Drawing No. A107
Drawing No. A107

Rev B
Rev B

Notes

1. DEVELOPMENT APPLICATION (DA) - This is a form used to apply for a development application. It is used to request a change to the use of land or the way in which land is used. It is used to request a change to the use of land or the way in which land is used.
2. DEVELOPMENT APPLICATION (DA) - This is a form used to apply for a development application. It is used to request a change to the use of land or the way in which land is used. It is used to request a change to the use of land or the way in which land is used.
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Revision

Rev	Date	By	Appr	Description
20/02/2014	14/02/2014	A		Development Application

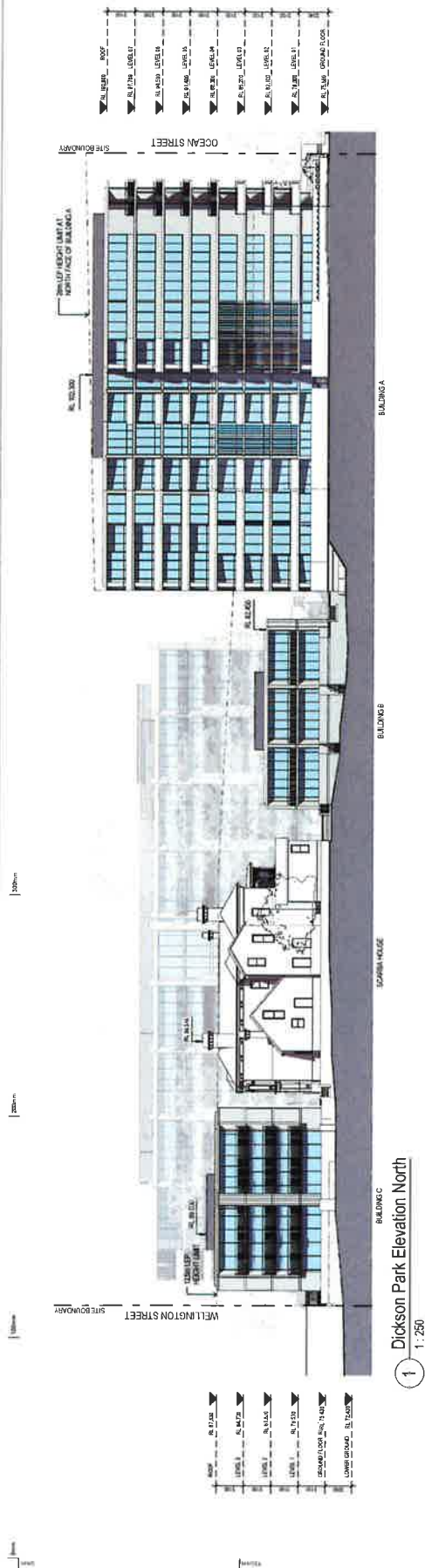
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Architect

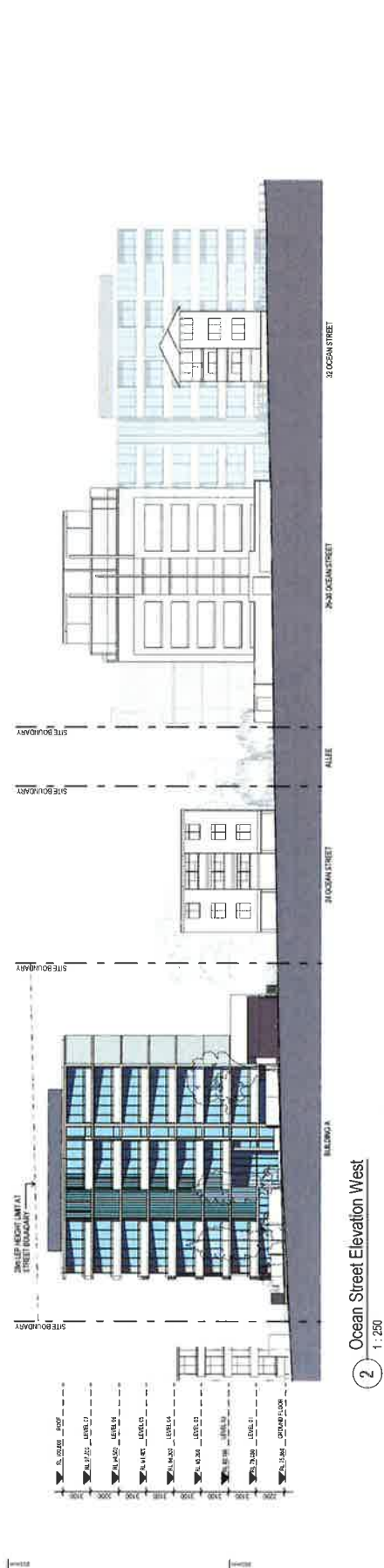
smart design studio



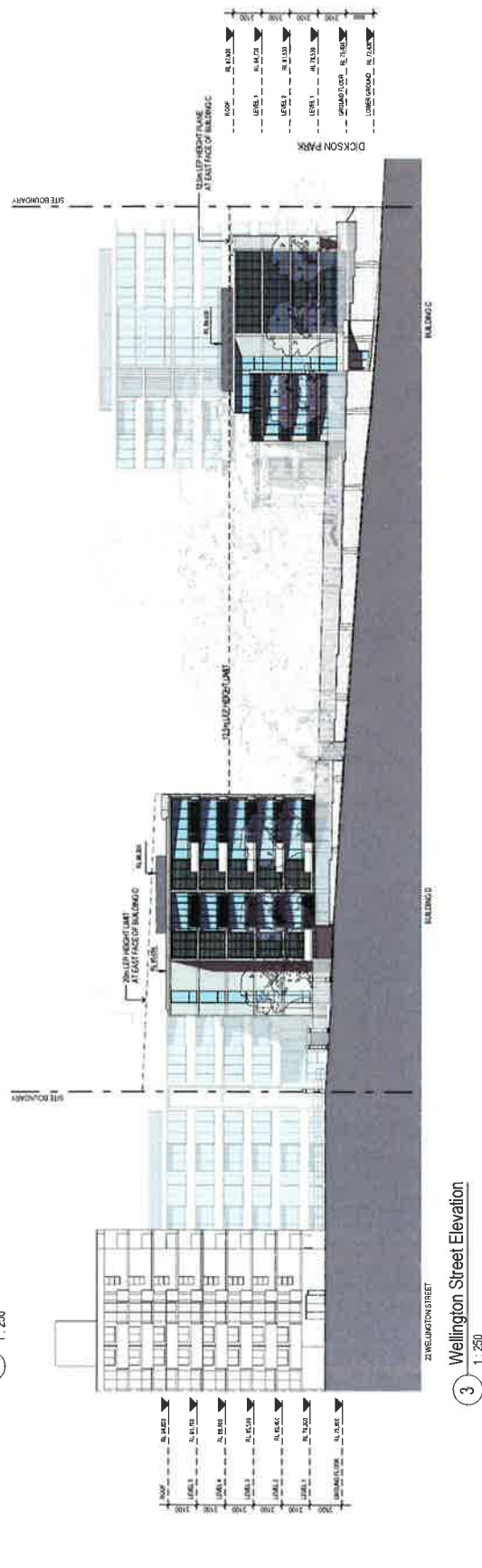
DEVELOPMENT APPLICATION
Roof Plan



1 Dickson Park Elevation North



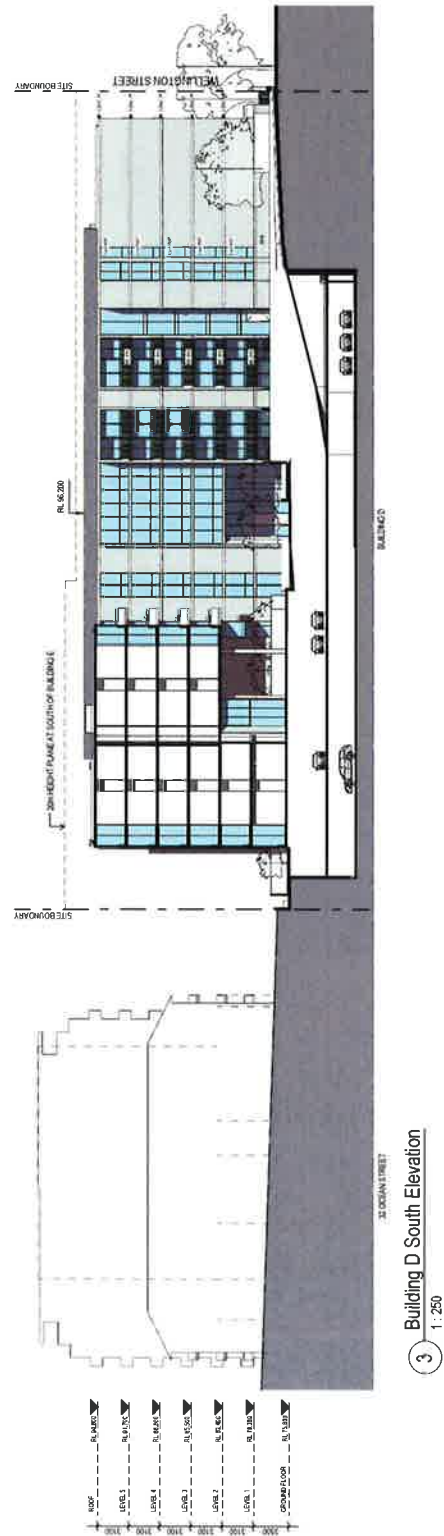
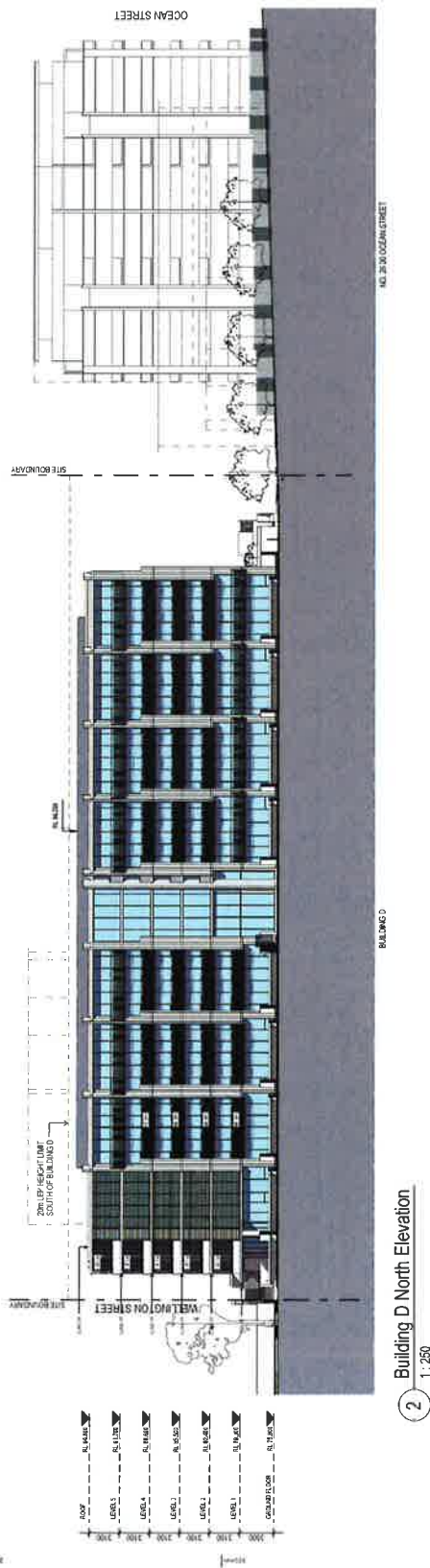
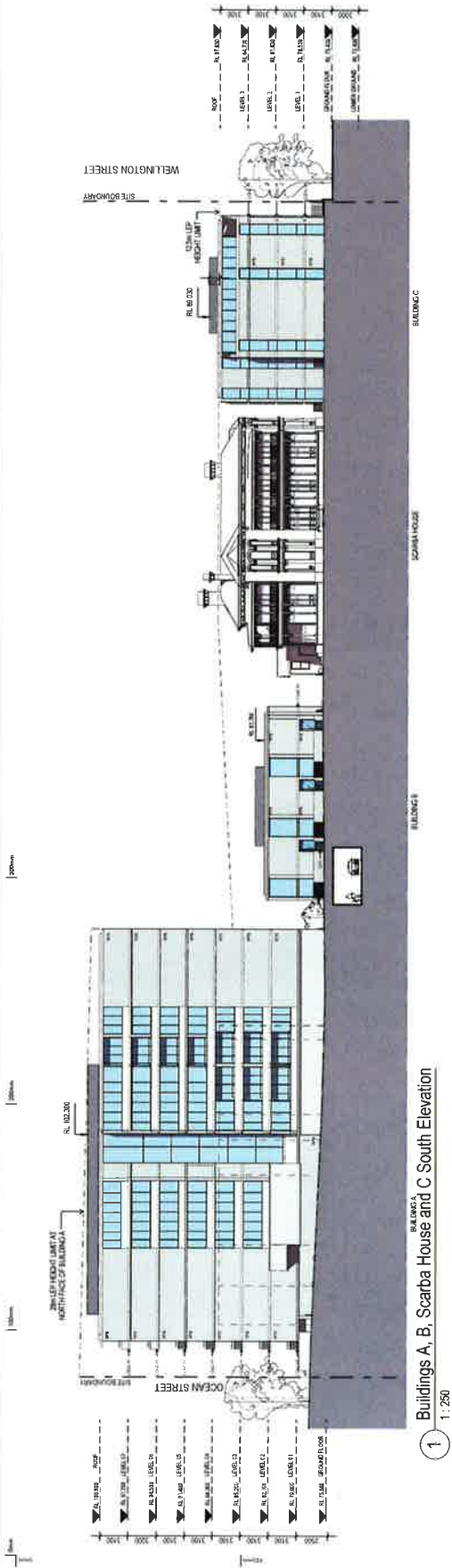
Ocean Street Elevation West



Wellington Street Elevation

1. **QUESTION** What is the difference between a
primary and a secondary source?
 2. **ANSWER** A primary source is a source that
 provides first-hand information or a direct
 record of an event. A secondary source is a
 source that provides information about a
 primary source.
 3. **QUESTION** What is the difference between a
primary and a secondary source?
 4. **ANSWER** A primary source is a source that
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primary and a secondary source?
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 record of an event. A secondary source is a
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 primary source.
 9. **QUESTION** What is the difference between a
primary and a secondary source?
 10. **ANSWER** A primary source is a source that
 provides first-hand information or a direct
 record of an event. A secondary source is a
 source that provides information about a
 primary source.

[illegible]



Revision	Date	Rev	Rev	Approved
20/12/2014		01		
14/05/2014		01		

Solar
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design: Architect

smart design studio

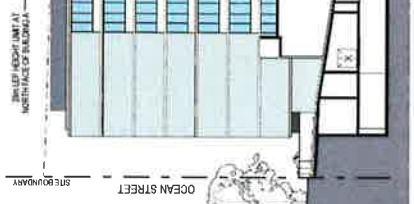
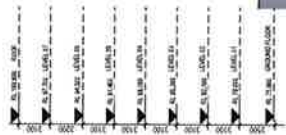
Project
BONDI
18-22 Ocean Street & 30 Wellington Street

Scale

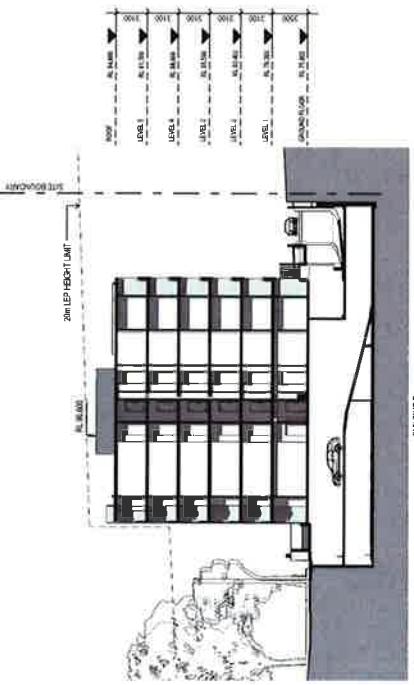
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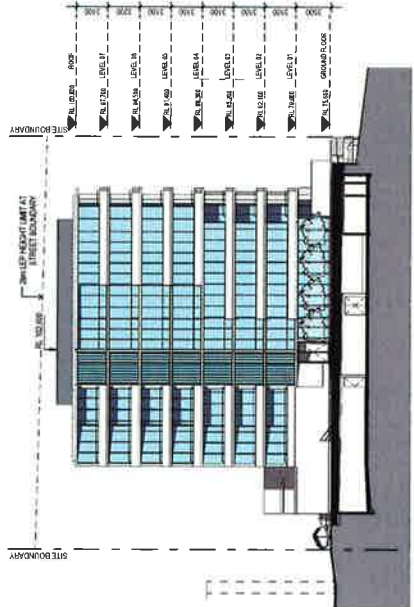
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1 Building A and B Section GG
1:250



2 Building D Section HH
1:250



3 Building A - East Elevation
1:250

Notes

1. GENERAL INFORMATION:
a. Project Name: 18-22 Ocean Street & 30 Wellington Street
b. Project Address: 18-22 Ocean Street & 30 Wellington Street
c. Project Location: Wellington, New Zealand
d. Project Owner: BOND
e. Project Manager: BOND
f. Project Architect: smart design studio
g. Project Engineer: smart design studio
h. Project Designer: smart design studio
i. Project Draftsman: smart design studio
j. Project Date: 20/07/14
2. DESIGN INFORMATION:
a. Design Basis: AS/NZS 1170.2:2002
b. Design Life: 50 years
c. Design Wind Speed: 35 m/s
d. Design Earthquake: 0.15g
e. Design Flood: 1:100 ARI
f. Design Temperature: 15°C
g. Design Humidity: 65%
h. Design Air Quality: AS/NZS 4034:2008
i. Design Noise: AS/NZS 1055:2003
j. Design Vibration: AS/NZS 1081:2007
k. Design Light: AS/NZS 1162:2002
l. Design Sound: AS/NZS 1036:2002
m. Design Fire: AS/NZS 1539:2005
n. Design Security: AS/NZS 4801:2004
o. Design Sustainability: AS/NZS 4900:2005
p. Design Accessibility: AS/NZS 1460:2005
q. Design Safety: AS/NZS 4580:2004
r. Design Health: AS/NZS 4801:2004
s. Design Environment: AS/NZS 4900:2005
t. Design Heritage: AS/NZS 4900:2005
u. Design Cultural: AS/NZS 4900:2005
v. Design Social: AS/NZS 4900:2005
w. Design Economic: AS/NZS 4900:2005
x. Design Environmental: AS/NZS 4900:2005
y. Design Cultural: AS/NZS 4900:2005
z. Design Social: AS/NZS 4900:2005

Notes

20/07/14
18/07/14

Development Application
Development Application

Date
Rev

Author
Checked
Reviewed

Subject
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Architect
smart design studio

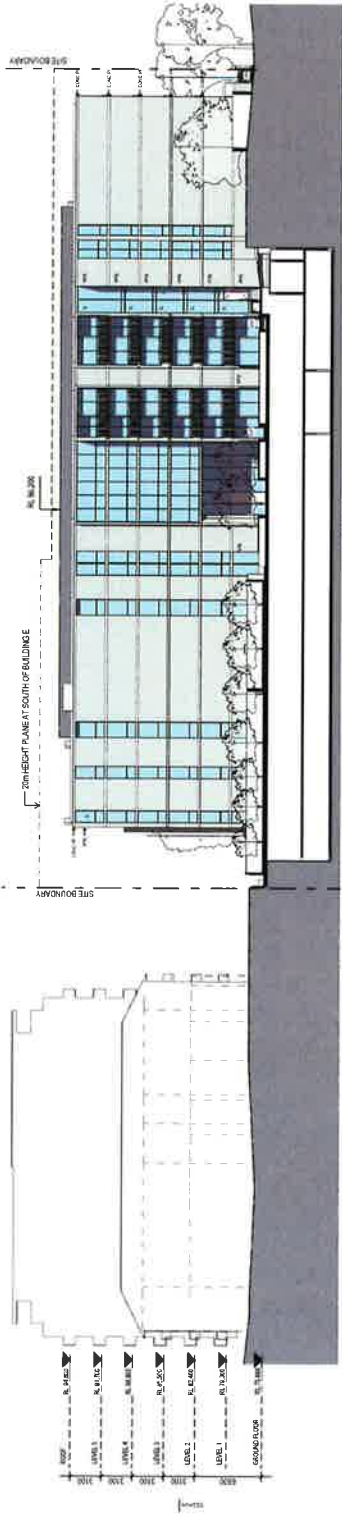
Project
BOND
18-22 Ocean Street & 30 Wellington Street

Elevations & Sections - 5 of 5

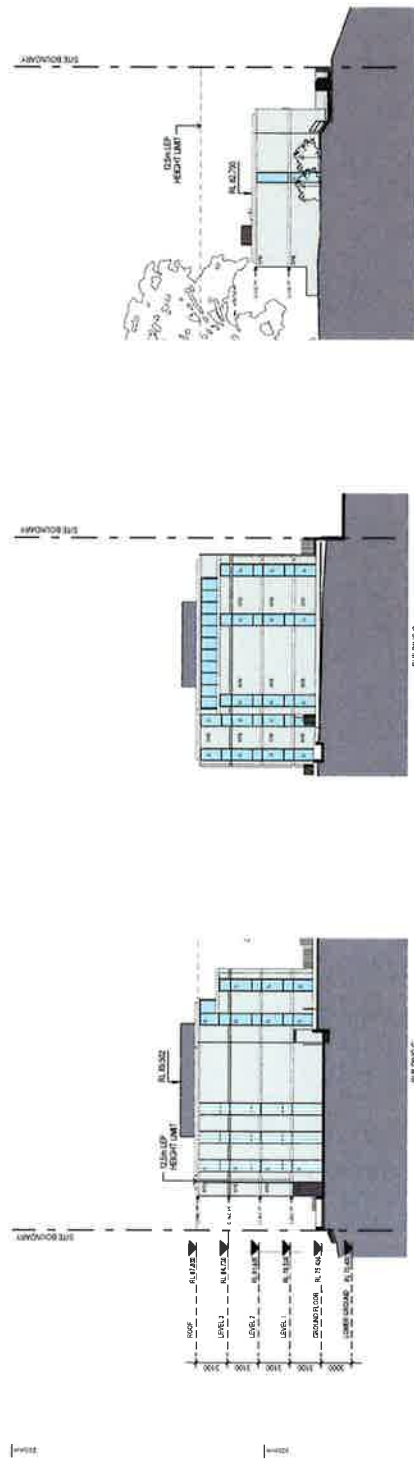
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Drawing No. A304 Rev A

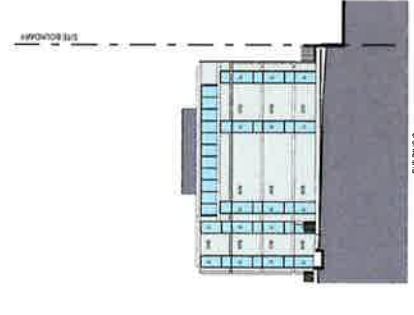
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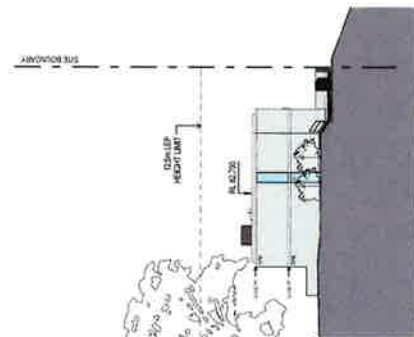
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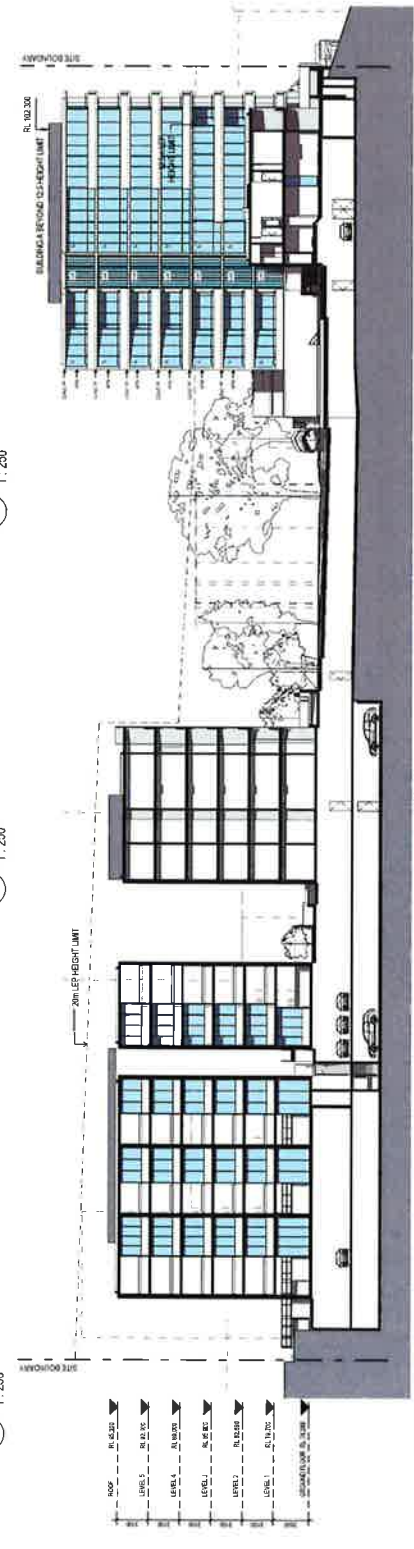
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5 BUILDING C SOUTH ELEVATION
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4 BUILDING B SOUTH ELEVATION
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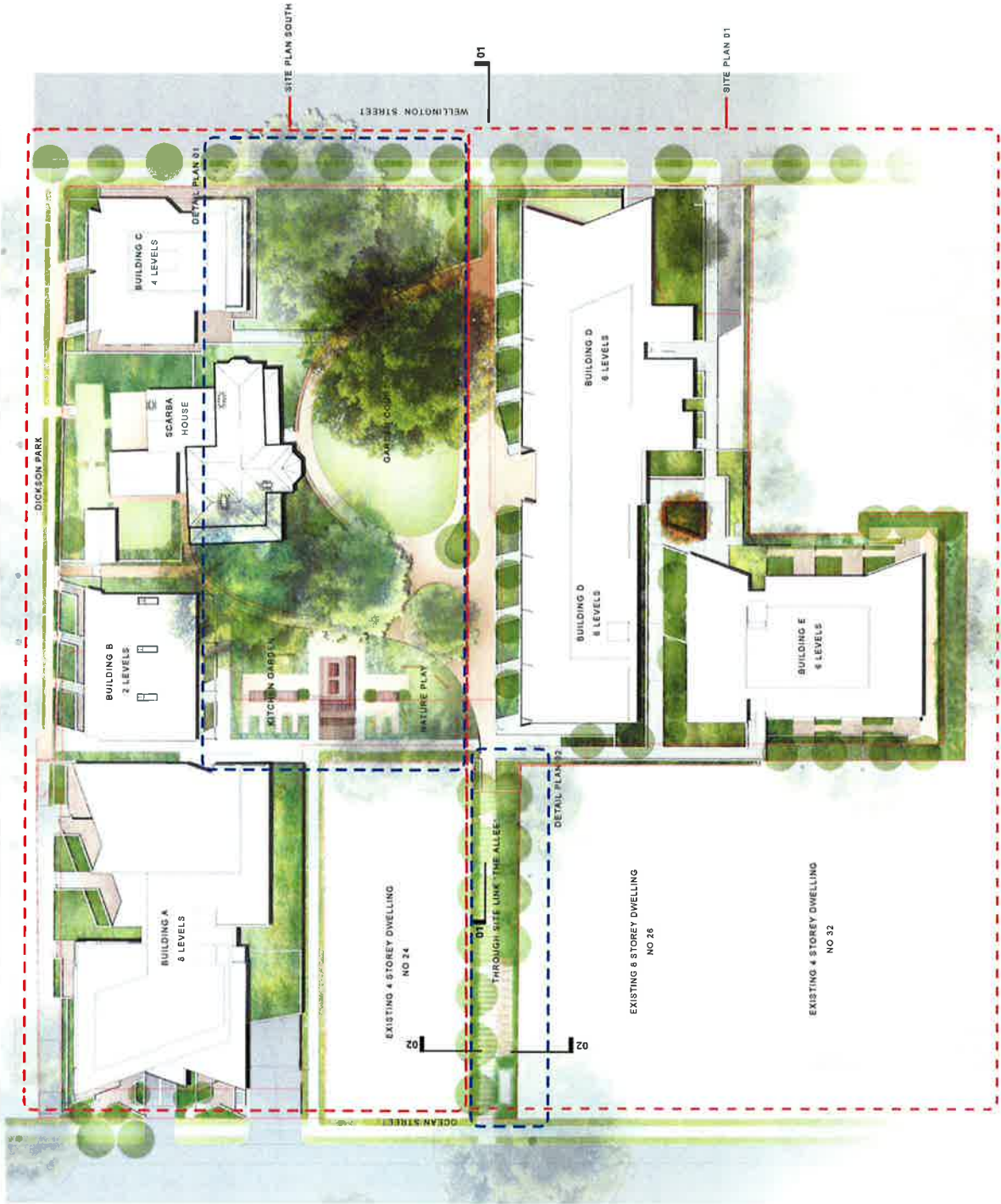
3 SECTION CC
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Contents

- DA00 - Cover Sheet + Contents
- DA01 - Site Plan South
- DA02 - Site Plan North
- DA03 - Detail Plan 01 + Section
- DA04 - Detail Plan 02 + Section
- DA05 - Planting Strategy
- DA06 - Tree Retention + Removal Diagram

Issue Register

Revision	Date	Amendment	Prepared	Checked
A	10/03/2014	DRAFT For Review	CW/TA	RL
B	14/03/2014	DRAFT For Review Meeting	TA	RL
C	17/04/2014	DRAFT For Review	CW/TA	CW/RL
D	01/05/2014	DRAFT For Discussion	CW/TA	CW/RL
E	16/05/2014	DRAFT For Review	CW/TA/MF	CW/RL
F	08/06/2014	For Development Application	CW/TA/MF	CW/RL
G	18/06/2014	For Development Application	CW/TA/MF	CW/RL
H	09/05/2014	For Development Application	CW/TA/MF	CW/RL
I	14/05/2014	For Development Application	CW/TA/MF	CW/RL
J	17/05/2014	For Development Application	CW/TA/MF	CW/RL
K	20/10/2014	For Development Approval	CW/TA/MF	CW/RL



Ocean Street North, Bondi Development Application



1. Gated pedestrian avenue via the Through Site Link, connecting Ocean Street to Wellington Street. Refer Detail Plan 02 for more information.
2. North facing ground floor courtyards housing the Garden Court. All courtyards are gated with a sandstone wall and a row of screening plants. Privacy is provided with a palisade fence and screening plants.
3. East facing and west facing ground floor courtyards have screening plants to adjacent properties. Each courtyard has a limited access to the adjacent area development and adjacent properties. Each courtyard has a gated entrance.
4. Fire egress
5. Private communal courtyard with raised central planter and seating. The private communal courtyard is accessed through the building and via the gated pedestrian entrance on Wellington Street. A row of screening plants limits outlook between the Sandstone development and the adjacent property.
6. Tree planting in raised planters provide privacy for ground floor residents and soften the built form.
7. Electrical substation and required clearance.
8. Gated vehicular entry/exit to basement car park from Wellington Street.
9. Upgraded streetscape with turf and planted verge. New street tree plantings as per Waverley Council's Street Tree Master Plan. (To be confirmed with council)
10. Existing sandstone boundary wall retained and restored, with new palisade fence atop.
11. Memorial gate posts retained in situ and contemporary palisade fence interprets original gates which have been replaced.
12. New gated pedestrian access connects Wellington Street to Ocean Street. A portion of the existing sandstone wall is to be retained with some salvaged for potential reuse on site and interpreted in the ground plane.
13. External landscaped building entry provides a north-south visual link between the private communal landscape, Sandstone House and the Garden Court.



1. 3m wide gated pedestrian link from Ocean Street to Dickson Park.
2. 3m wide through site link to Dickson Park
3. Upgraded streetscape with turf and planned verge. New street tree plantings as per Waverley Council's Street Tree Master Plan.
4. Vehicular entry and exit to basement car park and loading dock
5. West facing ground floor courtyards fronting Ocean Street. Each residence has a private gated entry into their courtyard. A paved deck structure extends outwards toward a level paved area and garden planting.
6. Paved pedestrian entry to building foyer
7. North facing ground floor courtyards with garden planting providing visual outlook. Screen planting limit views from the adjacent property and provide visual separation between the private courtyard and private communal garden.
8. Overland flow path with low filtration planting and large pebble mulch to slow and capture stormwater run off
9. North facing courtyards fronting Dickson Park with private gated access. The large Figs and Casuarinas limit solar access and passive surveillance of the Parks upper terrace.
10. The private garden to the Sophia House residence has been treated with a series of garden beds, a paved area, and a level turf area. Screen planting encloses the garden, and links to a level turf area. Screen planting encloses the garden, and celebrates period planting in a contemporary manner. Gravel paved paths connect each of the turf rooms and provide access to the storage building.
11. Mass planting to the existing terrace between the built form and sandstone wall.
12. The Garden Court, Kitchen Garden and Nature Play provide private communal landscapes which encourage social interaction between the residents. Refer Detail Plan 01 for more information
13. Upgraded streetscape with turf and planned verge. New street tree plantings as per Waverley Council's Street Tree Master Plan (to be confirmed)

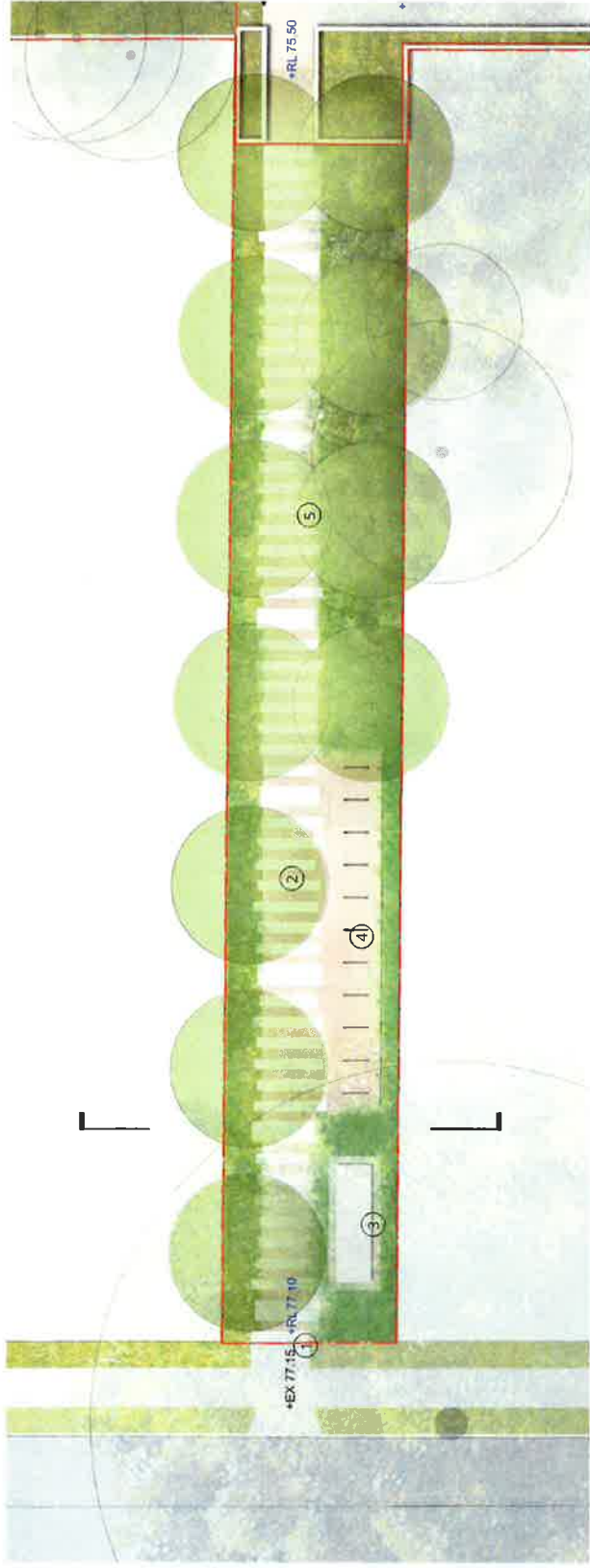


Detail Plan 01

1. Kitchen Garden with raised planter beds, herbaceous planting and 10+ cubic metres composting beds.
2. A sample box (timber structure) extends from the basement fire-egress. Storage for gardening tools and a bicycle rack is located in a basement raised parking. A large communal table is located underneath the fire-egress at the rear.
3. A small pause play area amongst mass planting provides a play space for children. The understory planting is a combination of ornamental and herbaceous plants, providing sensory intrigue.
4. Existing mature trees (figs, Eucalyptus, Pines and Blueberry) have been retained where possible. Framing the historic Scarbro House and provide amenity within the landscape.
5. New understory planting references period gardens and links the contemporary landscape to the site's history.
6. A wide gravel paved path inscribes the former carriage loop, with a dish drain to the northern edge.
7. The central turf heart is bound by a contemporary steel edge. The green heart is intended for passive recreation, including picnicking.



Detail Section 01



Detail Plan 02

1. Gated pedestrian access into the Through Site Link from Wellington Street.
2. Permeable paving with stabilised gravel between providing an accessible route into the Scarba development.
3. Electrical substation with screen planing in accordance with Auckland requirements.
4. Bicycle parking for residents as required.
5. Formal avenue planting with proposed Eucalyptus eumundi (Sydney Blue Gum) trees. The trees are to be planted in a 10m wide strip along the path. The trees are to be planted in a 10m wide strip along the path. The trees are to be planted in a 10m wide strip along the path.



Detail Section 02

Indicative Plant Palette

BOTANICAL NAME	COMMON NAME	INDICATIVE	EXOTIC /	LOW
		POT SIZE	NATIVE	WATER USE
TREES AND LARGE SHRUBS				
Strelitzia reginae	Giant White Bird of Paradise	200L	Exotic	*
Pimenta acutifolia	Frangipani		Exotic	*
Banksia integrifolia	Coast Banksia	200L	Native	*
Elaeagnus argentea	Evergreen Quandong	200L	Native	*
Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	200L	Exotic	*
SCREENING PLANTS				
Dodonaea viscosa 'Green'	Hop Bush	75L	Native	*
Syzygium 'Cascade'	Cascade Ivy Palm	75L	Native	*
Syzygium 'Big Red'	Big Red Ivy Palm	75L	Native	*
Walteria laurifolia 'Savanna'	Walteria Savanna	75L	Native	*
SMALL SHRUBS, GRASSES AND GROUNDCOVERS				
Agave attenuata	Century Plant	45L	Exotic	*
Agave spicata 'Silver Gem'	Bush	150mm	Native	*
Alphitonia 'Zinnia'	Shrub Ginger	200mm	Exotic	*
Asparagus densiflorus 'Myers'	Purple Asparagus	200mm	Exotic	*
Aspidistra elatior	Star Iron Plant	200mm	Native	*
Asplenium australasicum	Bird's Nest Fern	45L	Native	*
Besleria yuccoides	Mexican Lily	45L	Exotic	*
Civola mixta	Civola	200mm	Exotic	*
Chrysanthemum indicum	Yellow Buttons	150mm	Native	*
Crassula ovata	Jade Plant	200mm	Exotic	*
Cycas revoluta	Cycad	45L	Exotic	*
Dichondra repens	Kidney Creeper	150mm	Native	*
Dieris rostrata	Silver Falls	150mm	Exotic	*
Dorstenia acaulis	Wedding Lily	45L	Native	*
Dorstenia pinnatifida	Gymnall Lily	75L	Native	*
Euphorbia characias subsp. walteri	Giant Spider Lily	200mm	Exotic	*
Ficus religiosa	Eucalyptus Wattle	200mm	Native	*
Hamamelis virginica 'Moore'	Knots Club Bush	200mm	Native	*
Hibiscus rosa-sinensis	Felix Sansevieria	200mm	Native	*
Hymenocallis speciosa	Star Lily	200mm	Exotic	*
Isotria medeoloides	Spider Lily	200mm	Exotic	*
Macaranga communis	Tanaka Method	200mm	Native	*
Mesembryanthemum sp.	Burrowing	45L	Native	*
Myoporum laetifolium 'Yellow'	Mini Pig Face	150mm	Exotic	*
Neomarica gracilis	Groundcover Myoporum	200mm	Native	*
Neomarica gracilis	Walking Stick Iris	200mm	Exotic	*
Pittosporum tobira 'Miss Muffet'	Walking Stick Iris	200mm	Exotic	*
Sarcocolla speciosa	Miss Muffet	200mm	Exotic	*
Sarcocolla speciosa	Blue Chalk Sticks	150mm	Exotic	*
Trachelospermum jasminoides	Mother in Law Tounge	200mm	Exotic	*
Trachelospermum 'Incoral'	Star Jasmine	200mm	Exotic	*
Viola pedunculata	Tricolour Jasmine	200mm	Exotic	*
Viola odorata	Native Violet	150mm	Native	*
Westringia fruticosa 'Aussie Box'	Violet	150mm	Exotic	*
Westringia fruticosa 'Grey Box'	Aussie Box Coastal Rosemary	200mm	Native	*
Zamia furcata	Grey Box Coastal Rosemary	200mm	Native	*

Trees

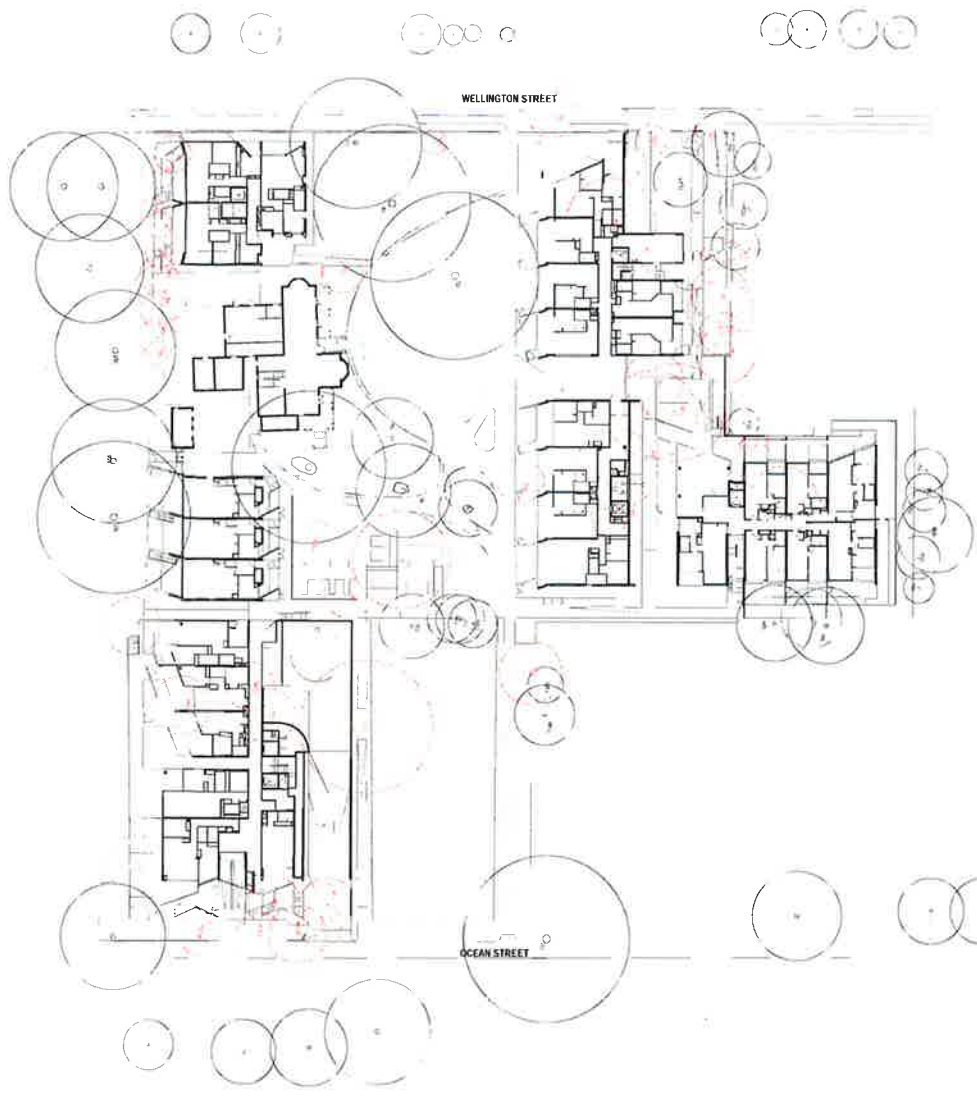


Planting



Tree Retention and Removal Schedule

TREE NO.	BOTANICAL NAME	COMMON NAME	LOCATION	RETAINED / REMOVED
1	<i>Leptospermum laurum</i>	Shrub	WPA 5.5m	TO BE RETAINED
2	<i>Leptospermum laurum</i>	Shrub	WPA 5.5m	TO BE RETAINED
3	<i>Leptospermum laurum</i>	Shrub	WPA 5.5m	TO BE RETAINED
4	<i>Leptospermum laurum</i>	Shrub	WPA 5.5m	TO BE RETAINED
5	<i>Leptospermum laurum</i>	Shrub	WPA 5.5m	TO BE RETAINED
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70	<i>Leptospermum laurum</i>	Shrub	WPA 5.5m	TO BE RETAINED



Existing Trees to be retained
Existing Trees to be removed

